



PYNFOLDS ESTATE



11,000 new council homes

COTTRELL &
VERMEULEN
ARCHITECTURE

01 INTRODUCTION

Project Overview

This presentation outlines proposals to develop a site on Pynfolds Estate - an existing residential estate in Bermondsey North area of Southwark.

The estate is one of the sites that is part of Southwark Council's scheme to build 11,000 new council homes by 2043. The aim of the project is to deliver new socially rented, quality housing on a corner site of the existing estate.

We initially presented our ideas for the site in November 2020. Since then we have been developing the design and have sought input to the designs with the following meeting & consultations:

- Four Project Group Meetings consisting of local residents who have contributed to how the design has developed
- Stakeholder meetings with Southwark Council officers consisting of Maintenance, Housing, Landscape and Highways officers
- Meetings with Planning officers to discuss all aspects of the proposals
- Meetings with the Metropolitan Police to discuss methods to reduce crime and anti-social behaviour
- Meetings with Fire Safety engineers and Building Control to ensure fully compliant designs have been developed



View from junction Cathay Street & Paradise Street



View from Paradise Street towards the estate courtyard



View from the estate courtyard

01 INTRODUCTION

Location, Brief & Site Overview

LOCATION

Pynfolds Estate, London, SE16 4QD
Bermondsey North Ward

BRIEF

The aim of the project is to deliver new socially rented housing and landscape design, including appropriate improvements to the wider estate.

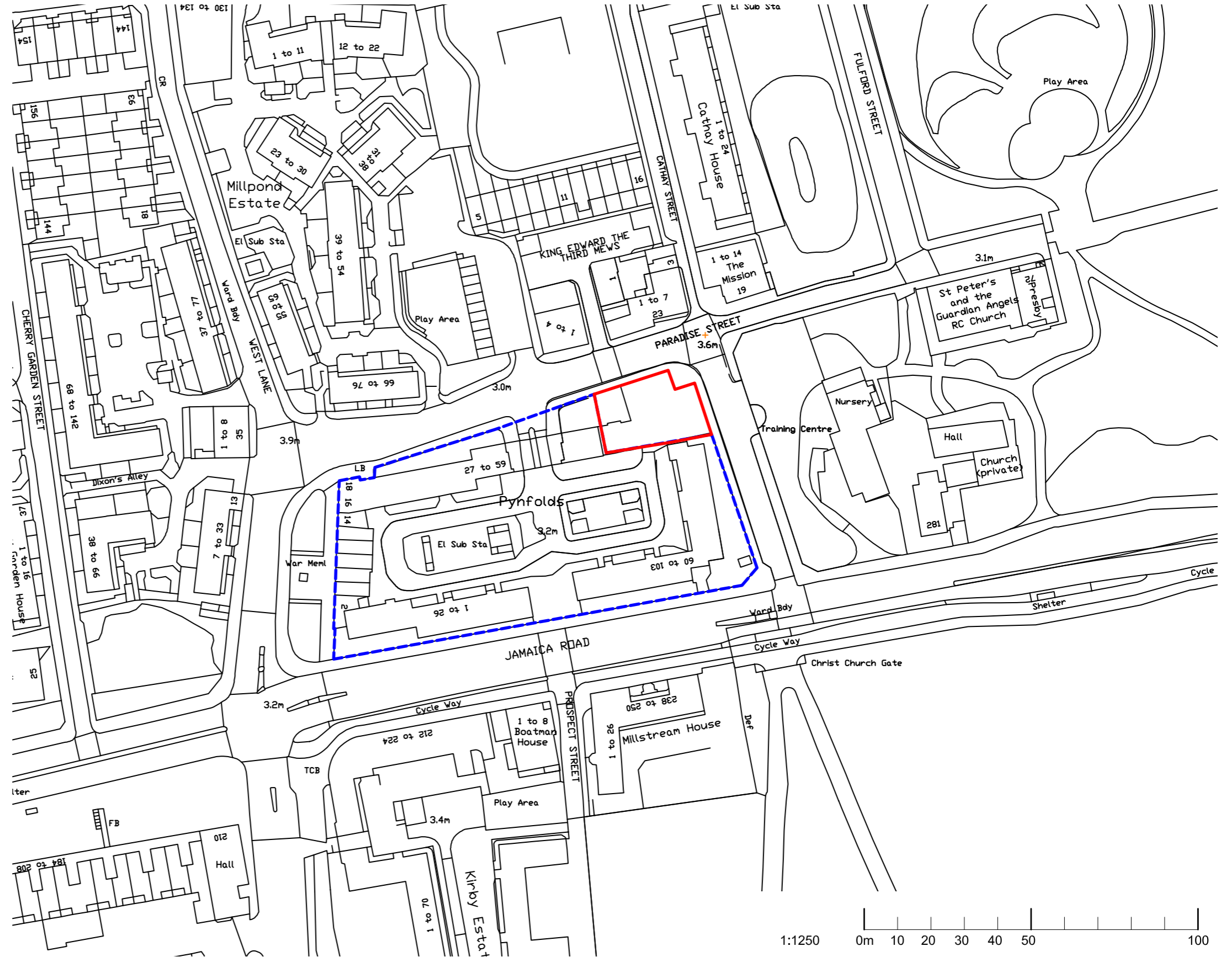
The initial brief issued by Southwark is based on a nominal footprint that delivers 8 No 2BR units.

The Stage 2 proposals currently deliver 4 No 2BR units and 4 No 1 BR units.

SITE

The site forms the northeast corner of Pynfolds estate, on the junction of Paradise Street and Cathay Street.

The site is currently used as parking, pedestrian access to the estate & bike & refuse storage.



01 INTRODUCTION

Pynfolds Estate Context

The Pynfolds Estate is a well defined, coherent estate dating from the 1950s, arranged along the perimeter of the urban block defined by West Lane, Paradise Street, Cathay Street and Jamaica Road.

The buildings are brick built and are a series of residential blocks containing 103 flats. It's five and six storey residential blocks combine with a single storey retail strip on West Lane to define a central courtyard.

ESTATE BUILDINGS

- 5 and 6 storey buildings to perimeter of site on North, East and South sides
- Single storey retail units on West side

ESTATE CENTRAL COURTYARD

- The central courtyard accommodates an electrical substation, shared amenity and play, lock-up stores for residents and provides access to the rear of the retail units.

ESTATE PARKING

- Parking is located within the site
- There is no official parking in the courtyard

ESTATE ACCESS

- Pedestrian access via Jamaica Road, Paradise Street under-croft and via vehicle entrance on Cathay Street
- Vehicle access to courtyard via Paradise Street under-croft
- Current access not sufficient for Fire Safety vehicle access
- Retail rear access via courtyard



02 SITE ANALYSIS

Existing site constraints

ACCESS

- Vehicle access from Cathay Street
- Pedestrian access currently through vehicle access on Cathay Street

EXISTING BUILDINGS

- Currently no buildings on the site
- Historically there was an estate office building located on South-West corner of the site

NEIGHBOURING BUILDINGS

- Adjacent Pynfolds estate buildings to the South (6 storeys) and West (5 storeys)

TREES

- Five existing trees on site - Two Category C trees

PARKING

- 15 off-street parking spaces for estate residents

FLOOD RISK

- Site is in Flood Risk Zone 3

CONTROL BOXES

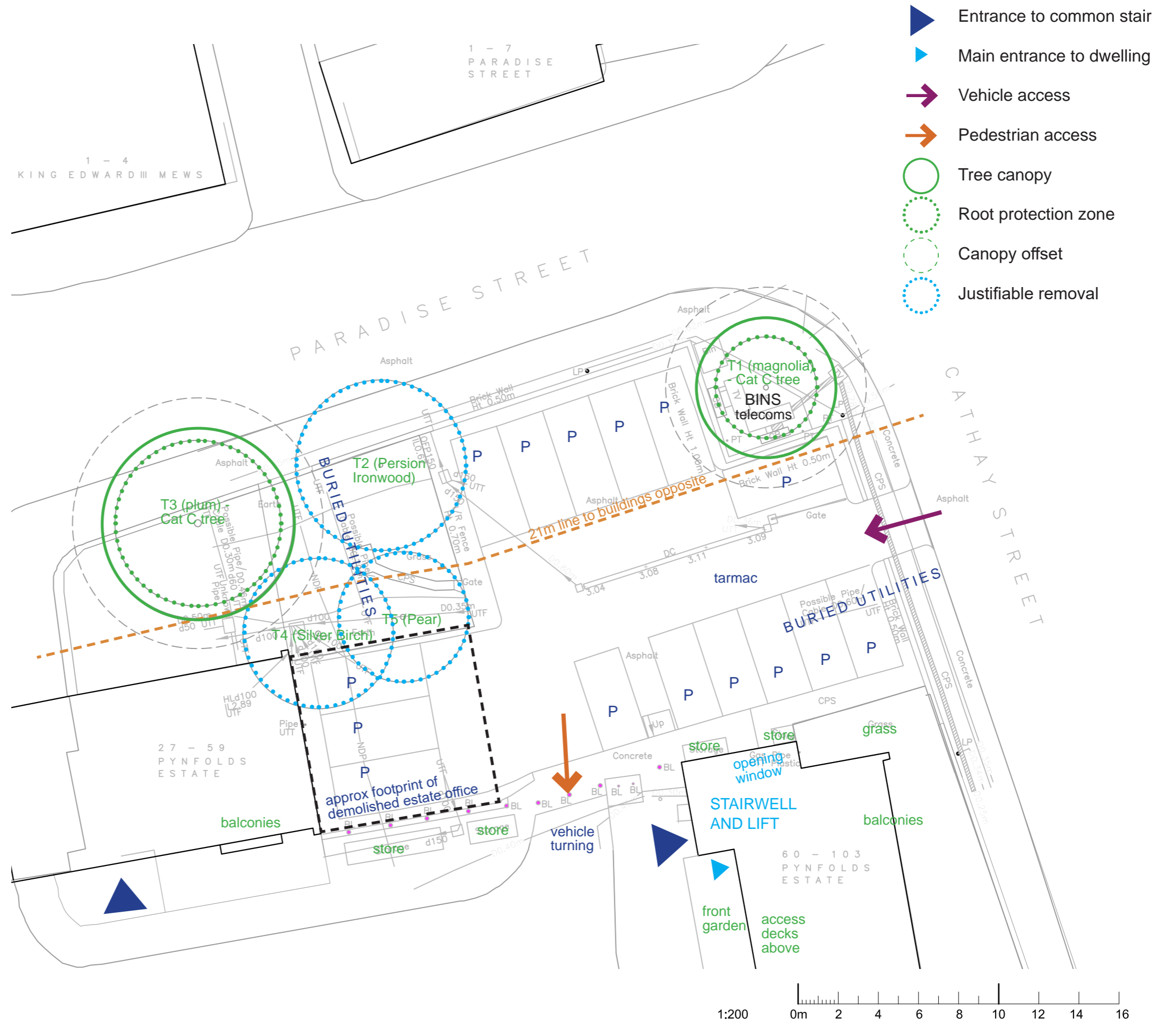
- Northeast corner has 2 telecoms control boxes

OVERLOOKING & DAYLIGHT

- Design needs to be sensitive to overlooking & daylight impacts on adjacent estate & buildings along Paradise Street

COMPACT SITE

- A compact corner site requiring careful consideration of the ground floor to accommodate transport, waste, storage & circulation on a tight footprint



- ▶ Entrance to common stair
- ▶ Main entrance to dwelling
- ➔ Vehicle access
- ➔ Pedestrian access
- Tree canopy
- Root protection zone
- Canopy offset
- Justifiable removal



02 SITE ANALYSIS

Existing site opportunities

STREET FRONTAGE

- Define the corner of the estate and 'complete' the typology of the existing perimeter block of the estate
- To complement the existing estate & street frontage in a considered and positive way

ACCESS

- Form a well defined, safe entrance to the estate with improved pedestrian access

STREETScape

- Improvements to corner area of Cathay Street and Paradise Street that is currently used for fly-tipping

ESTATE LANDSCAPE

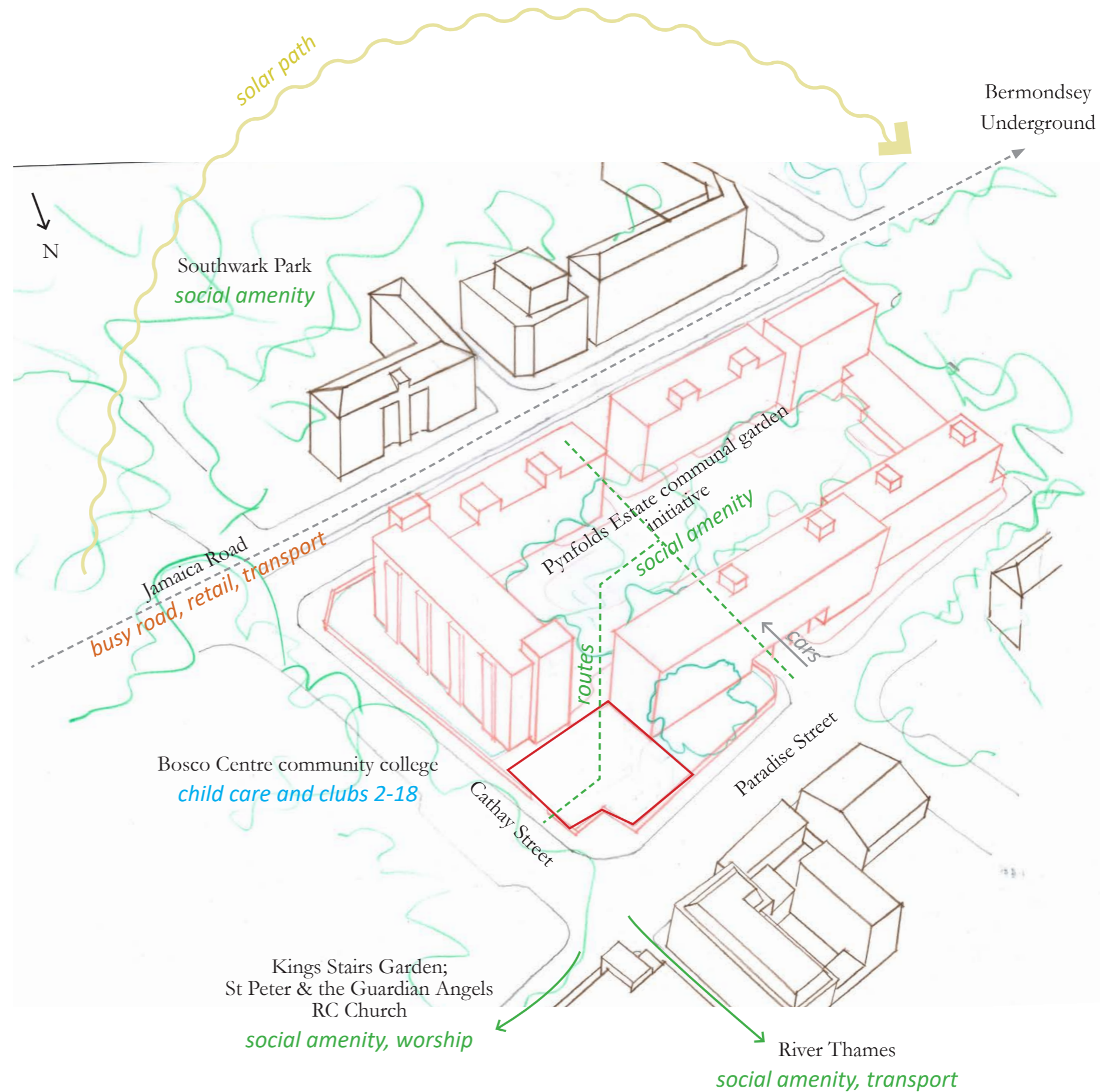
- Landscape improvements to the wider estate with improved communal facilities for existing residents
- Opportunity to coordinate with ongoing Great Estates Program to build constructively on previous consultation infrastructural upgrades (cycle store, vehicular drop-off, waste/recycling)

LOCAL AMENITY

- Close proximity to amenity spaces of Southwark Park, Kings Stairs Garden and the River Thames

TRANSPORT

- Excellent transport links to central and south / southeast London from adjacent Jamaica Road



03 PROPOSED SCHEME

Scheme Summary

- 8 flats - 100% council rent housing
- Range of 1 (4 no.) and 2 (4 No.) - bed homes
- No residential accommodation on ground floor level due to the flood risk
- All homes are accessible via a communal stair and lift to every level
- Three car parking spaces provided within the site including one wheelchair parking space
- Building will have sprinklers installed
- Communal bin store is accessible from inside the building

Key Sustainability benefits

- All homes are dual aspect
- Triple aspect private amenity space to all flats - minimum 10m2 each
- The buildings hot water and heating will be provided by a Air Source Heat Pump (ASHP) - located on the roof.
- Envelope is a high performance brickwork, cavity, insulation, SFS (metal framing), concrete frame
- 14 secure cycle parking racks for residents & 2 cycle parking racks for visitors within the building envelope
- Sustainable urban drainage strategy - permeable surfaces.
- New trees & planting as part of landscape scheme
- Infrastructure for future electric vehicle charging points

Scheme Benefits

- Complements the street frontages of the existing buildings and 'completes' the estates perimeter block typology, connecting Paradise Street & Cathay Street buildings
- Accessible and inclusive homes
- Improved corner landscape improvements with planting, seating and new fruit trees
- Creating a new public realm space on corner where previously used for bins & where fly-tipping was prevalent over recent years
- Replacement trees within site area amenity space
- New trees and planting to the wider estate, improving local amenity and biodiversity
- Improved vehicle access for fire safety vehicles
- Improvements to wider estate courtyard amenity areas & playspace
- New dedicated safe pedestrian access route separate from vehicle access through shared amenity
- New pedestrian routes link with existing courtyard pavements
- Maximises the site's development opportunity whilst being sympathetic to the character and massing of the original estate and surrounding buildings
- Good levels of daylight and sunlight around the site and within new homes
- Retention of the mature purple leaved plum tree, the persian ironwood and Magnolia tree on the corner of Cathay and Paradise Street



First sketch

03 PROPOSED SCHEME

Site Plan

ESTATE ACCESS

- A double height space retains access to estate
- Allows for sufficient vehicle access provided for fire safety vehicles not currently able to access the courtyard

PEDESTRIAN ACCESS

- New dedicated pedestrian access route separate from vehicle access through shared amenity
- New pedestrian routes link with existing courtyard pavements
- New homes accessed via main entrance from Cathay Street

TREES

- T1, T2 & T3 retained. T4 (Silver birch) & T5 (pear) trees removed
- 4 new trees added

REFUSE

- Estate recycling bins relocated within courtyard freeing up corner for improved landscaping

LANDSCAPE

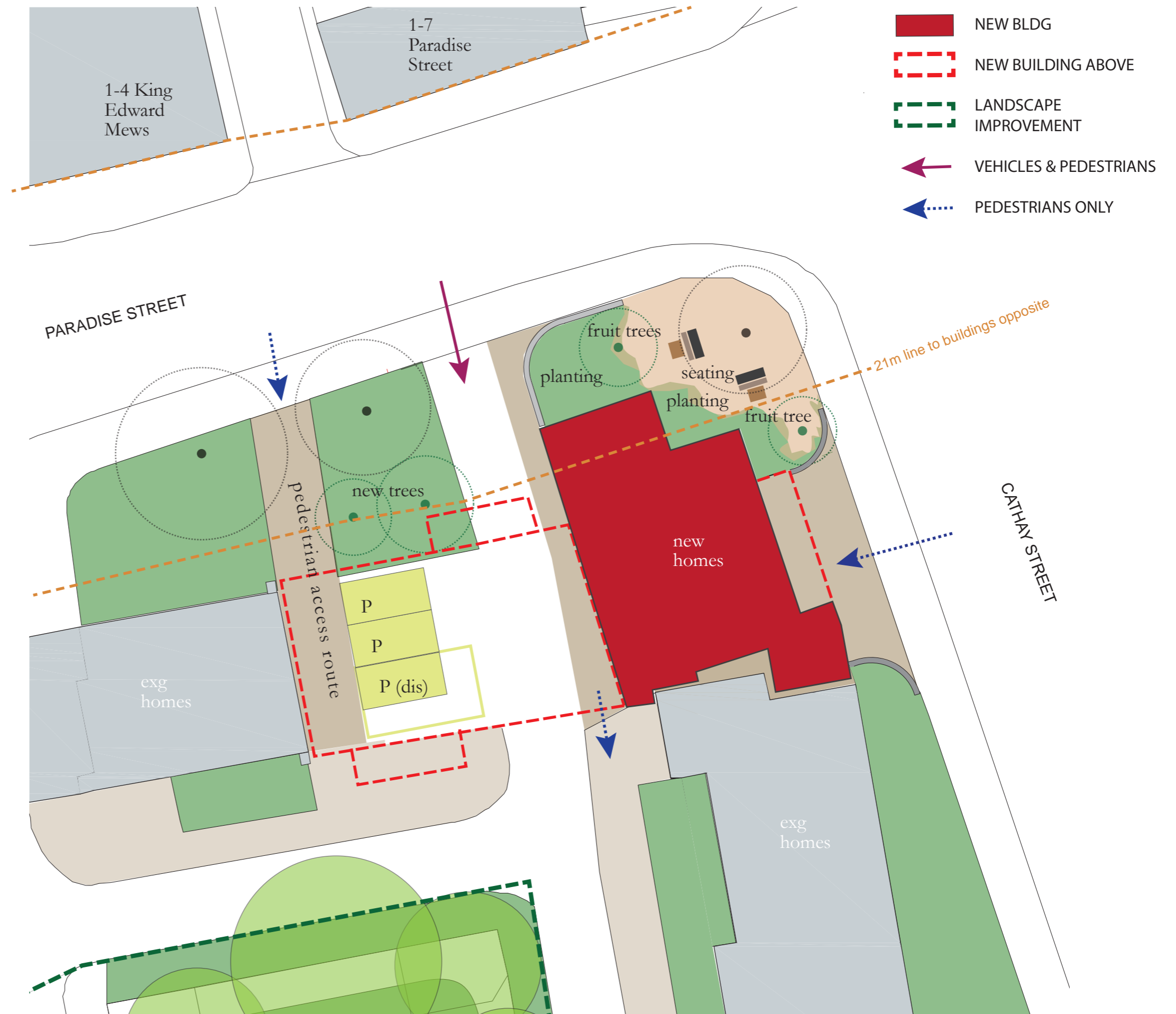
- Corner landscape improvements with planting, seating and new fruit trees

CAR PARKING

- Elevated building allows for 3 parking spaces to be re-provided (including one disabled space)

CYCLE PARKING

- Located at ground floor
- 14 resident and 2 visitor cycle parking racks



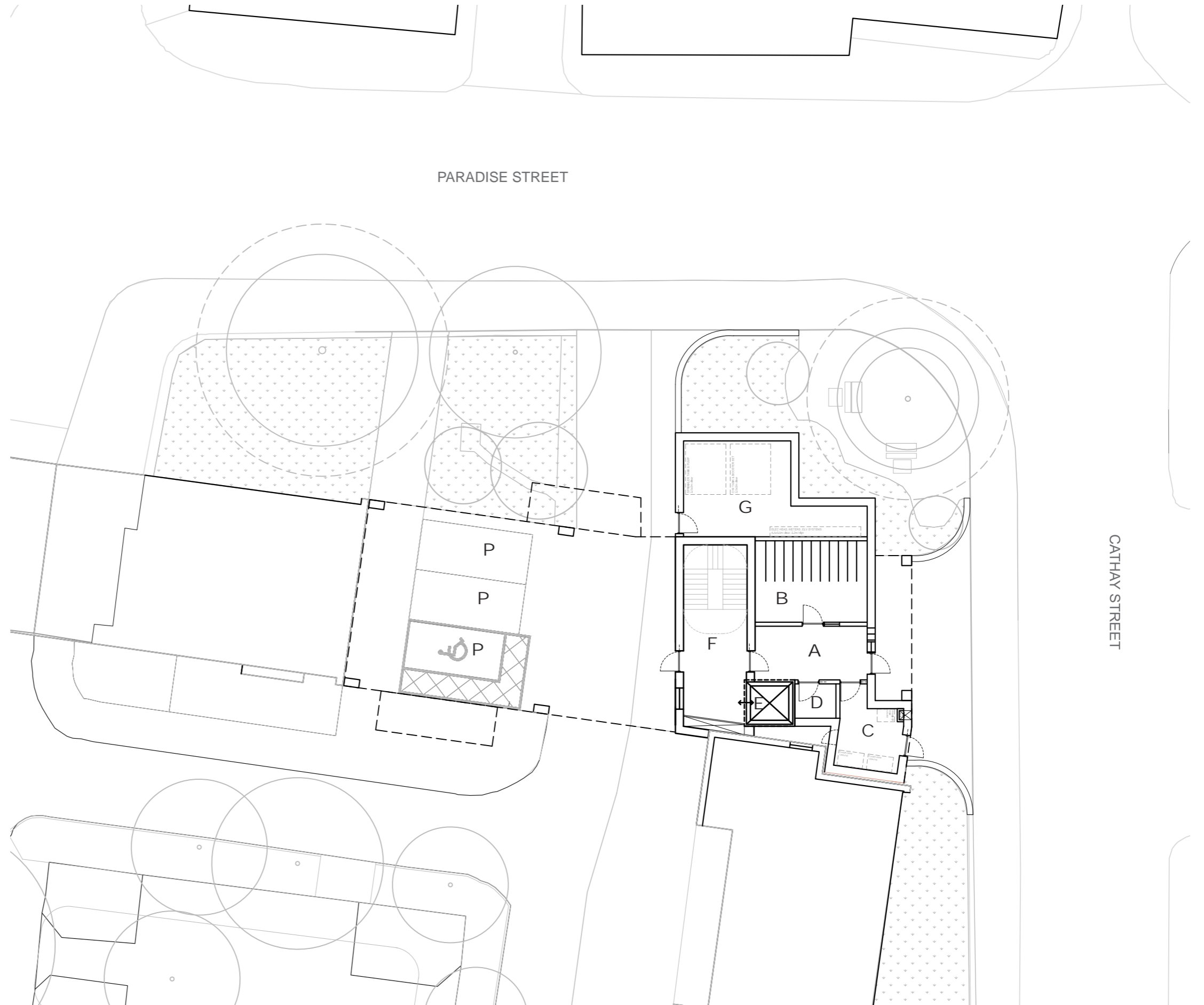
03 PROPOSED SCHEME

Ground floor plan

- A. Entrance Lobby
- B. Bicycle store
- C. Refuse store
- D. Cleaner's Cupboard
- E. Communal lift
- F. Communal stair
- G. Plantroom
- P. Car parking spaces

All areas are, in accordance with Southwark's New Homes Design Standard. We are also referring to LBS Supplementary Planning Documents, particularly the 2015 Technical Update to the Residential Design Standards (2011) and complying with the Nationally described Space Standards.

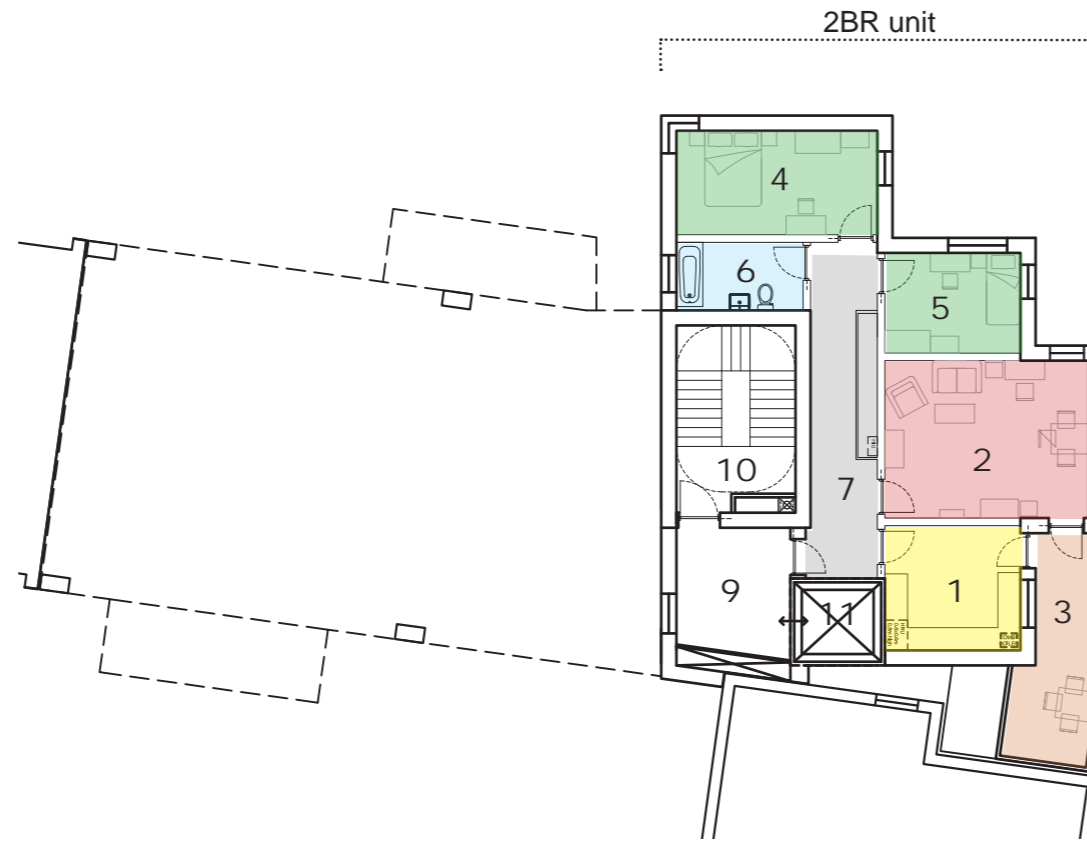
Accommodation Schedule	Gross internal floor area (m2)
Ground Floor:	
Total:	124
First Floor:	
2 bedroom unit (1)	85
Total:	122
Second Floor:	
2 bedroom unit (2)	85
1 bedroom unit (3)	54
1 bedroom unit (4)	59
Total:	220
Third Floor:	
2 bedroom unit (5)	85
1 bedroom unit (6)	54
1 bedroom unit (7)	59
Total:	220
Fourth Floor:	
2 bedroom unit (8)	85
Total:	122
Roof Level:	
Total:	29



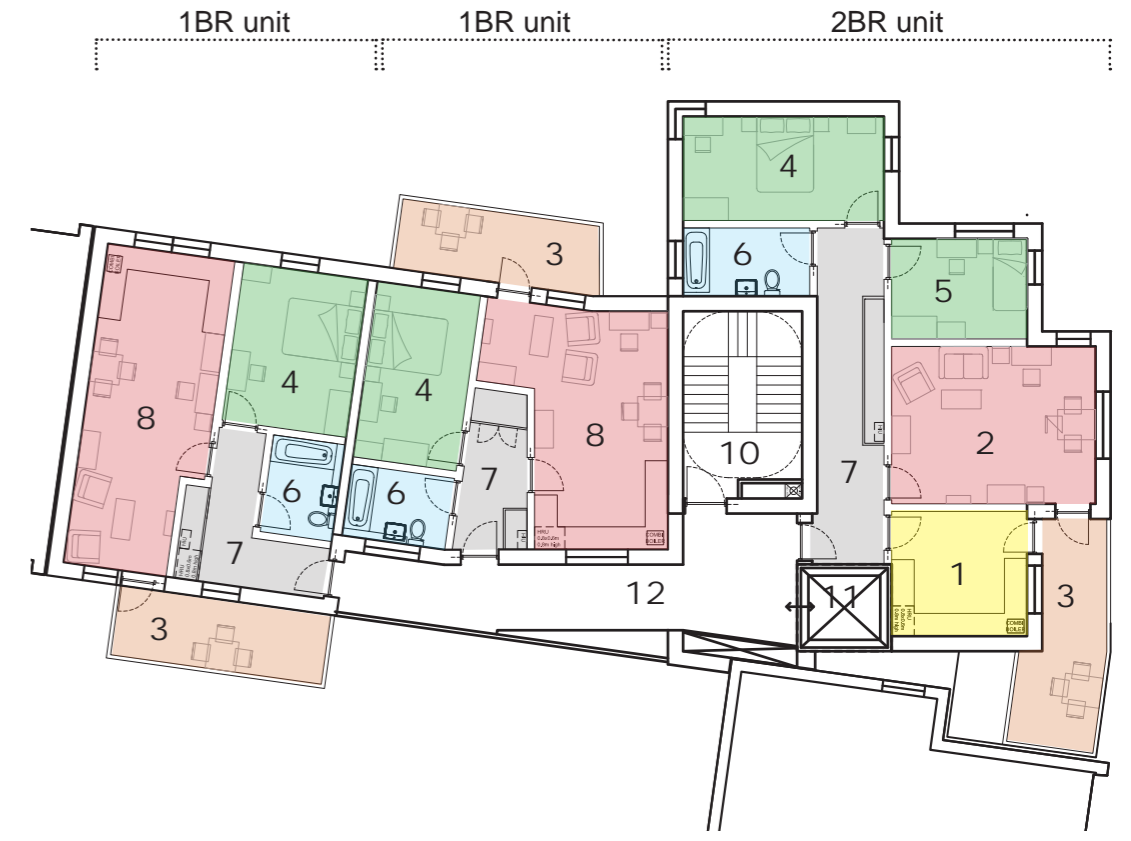
03 PROPOSED SCHEME

Upper Floor Plans

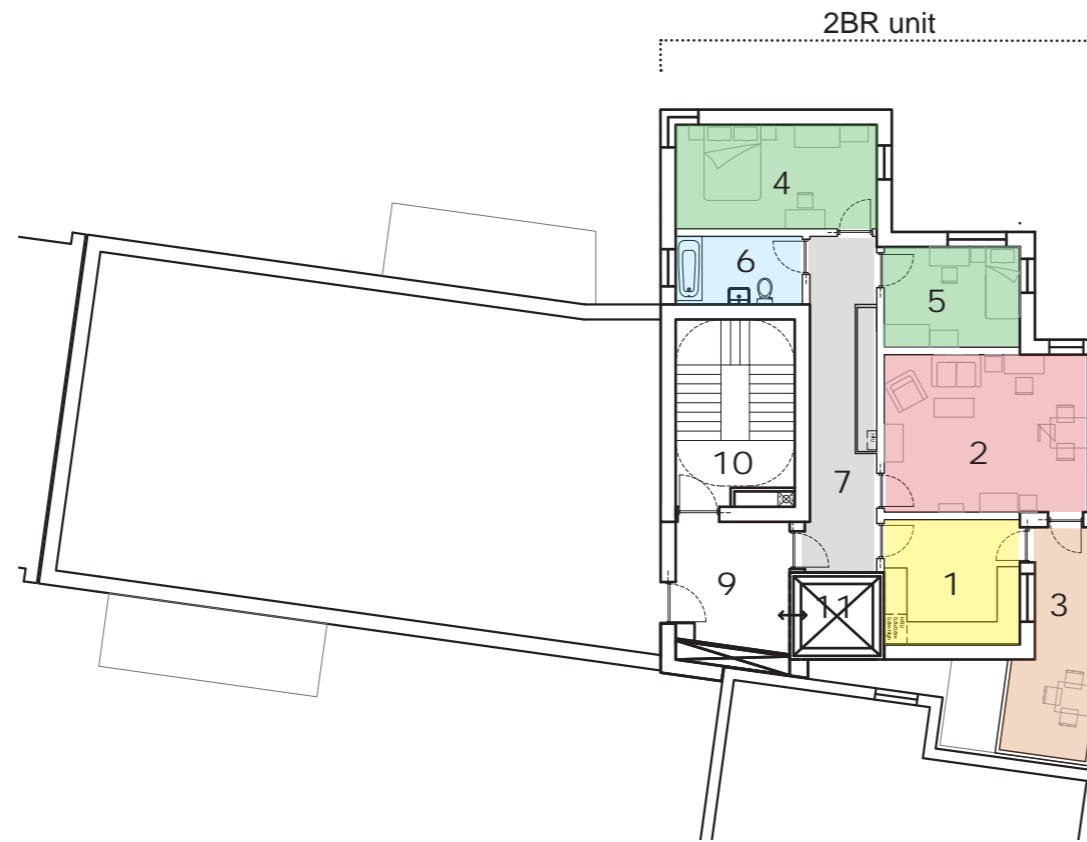
1. Kitchen
2. Living Room
3. Balcony
4. Double bedroom
5. Single bedroom
6. Bathroom
7. Flat entrance, hallway & storage
8. Open plan living room (1BR)
9. Communal lobby
10. Communal stair
11. Communal lift
12. External access deck
13. Plant - ASHP enclosures



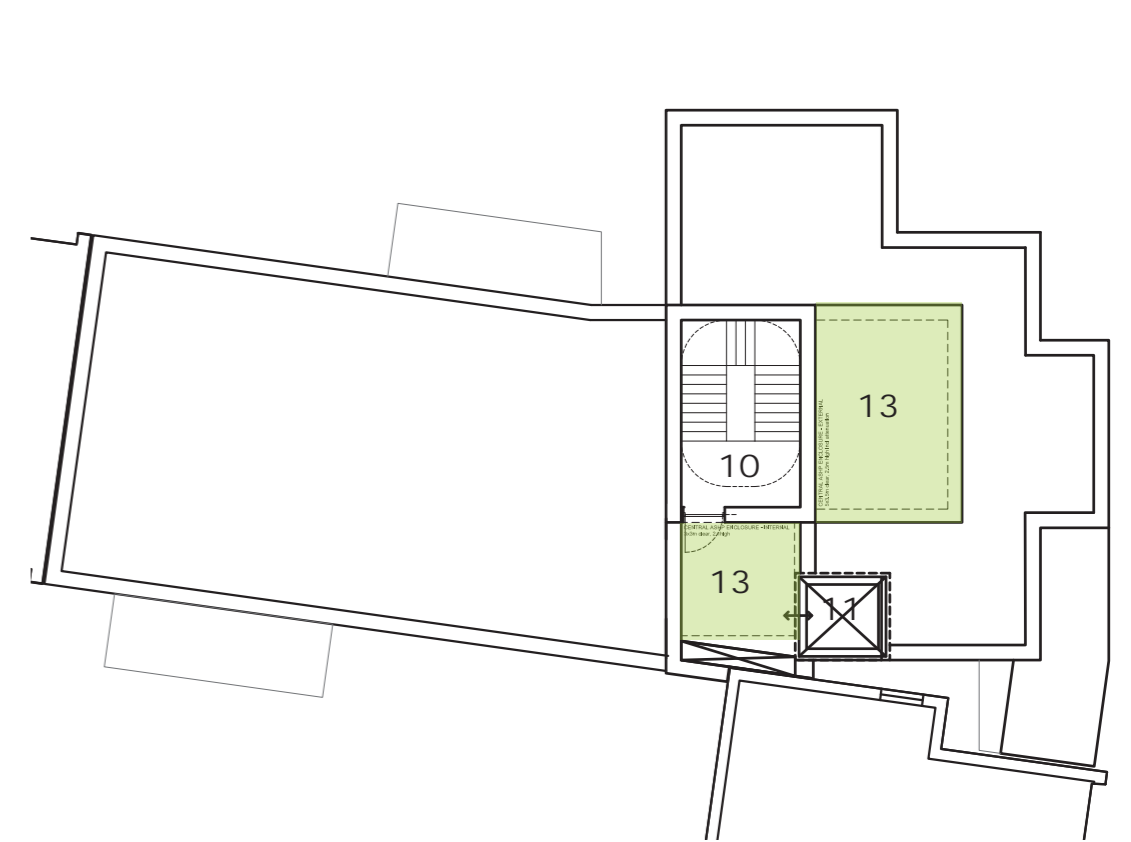
First Floor Plan



Second & Third Floor Plan



Fourth Floor Plan



Roof Level Plan

	Internal room area (m2)
Non-residential areas:	
Refuse store	9.3
Bike store	23.2
Plantroom	30.9
Cleaner's cupboard	3.5
Plant enclosure (ASHP)	11.7
2 bedroom units:	
Kitchen	11.8
Living/ Dining	17.4
Balcony	11.9
Bathroom	6.0
Double bedroom	14.6
Single bedroom	9.5
1 bedroom unit (A):	
Open plan living/ kitchen	25.5
Balcony	10
Bathroom	5.2
Bedroom	12.9
1 bedroom unit (B):	
Open plan living/ kitchen	27.1
Balcony	10
Bathroom	4.9
Bedroom	13.9

03 PROPOSED SCHEME

Second & Third Floor Plans

1. Kitchen
2. Living Room
3. Balcony
4. Double bedroom
5. Single bedroom
6. Bathroom
7. Flat entrance, hallway & storage
8. Open plan living room (1BR)
9. Communal lobby
10. Communal stair
11. Communal lift
12. External access deck

4 No. Two bedroom flats (also on 1st & 4th floors):





- Triple aspect; north, east and west facing
- Balcony on the south-east corner

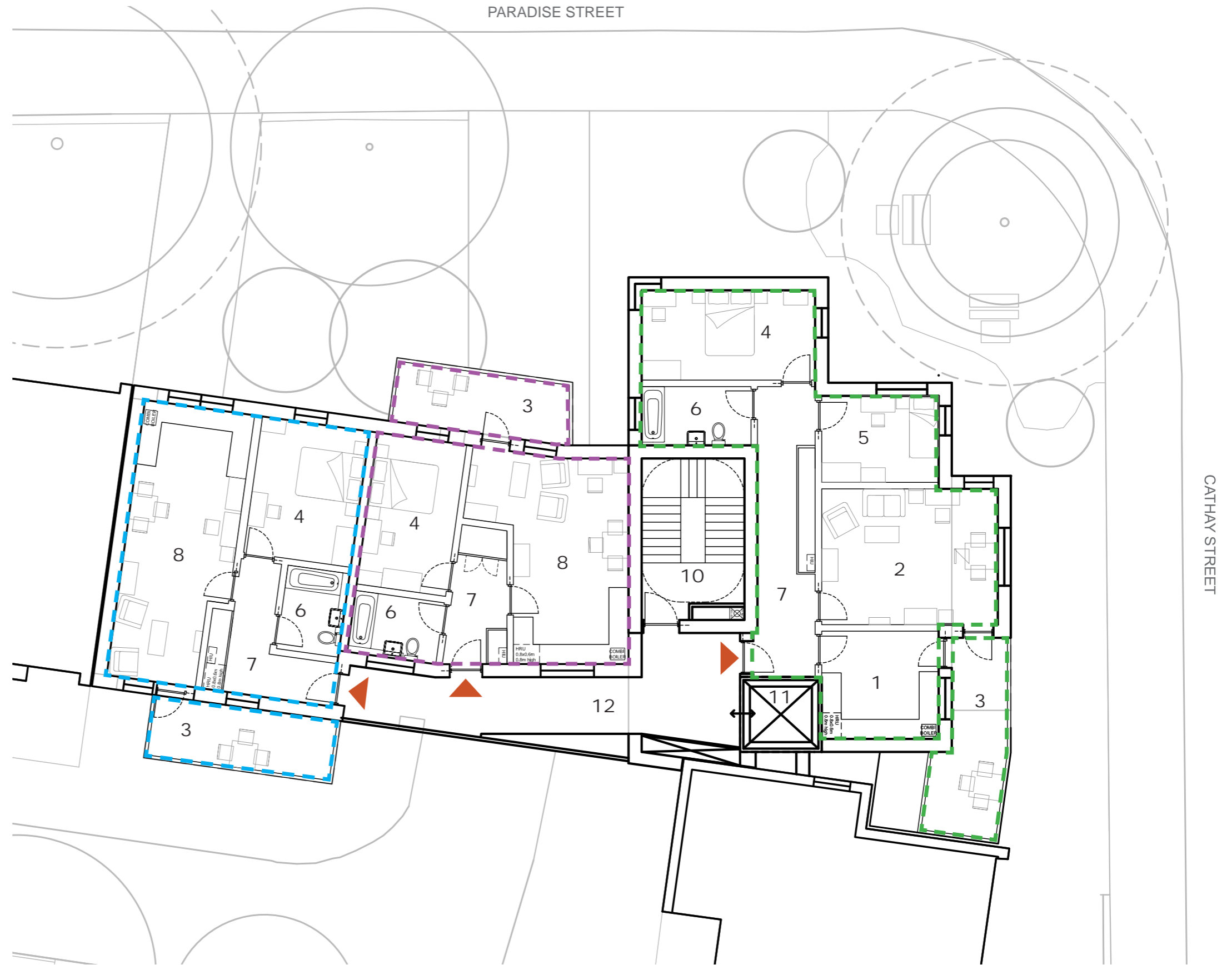
2 No. One bedroom flats (A):

- Duel aspect; north and south facing
- Balcony on north side with west facing aspect

2 No. One bedroom flats (B):

- Duel aspect; north and south facing
- Balcony on south side with east& west facing aspect

-  Two bedroom, 3 person flats
-  One bedroom, 2 person flats (A)
-  One bedroom, 2 person flats (B)
-  Entrance to flat



04 HEIGHT & APPEARANCE

Context - surrounding heights

The buildings adjacent and surrounding the site vary in storey height from single storey to six storeys.

Existing Pynfolds Estate buildings:

- A. 6 storey block
- B. 5 storey block
- C. 4 storey block
- D. Single storey block

Buildings along Paradise Street:

- 1. 23 Paradise Street - 4 storeys (approx. 16m from North site boundary)
- 2. 1-7 Paradise Street - 3 storeys (approx. 14m from North site boundary)
- 3. 1-4 King Edward III Mews - 2 storeys (approx. 15m from North site boundary)
- 4. 72 Paradise Street (6 storeys) approx. 25m from North East corner of site
- 5. Millpond Estate 56-76 - 4 storey (approx. 50m from North West corner of site boundary)

Buildings along Cathay Street:

- 6. Bosco Centre - 2 storeys (approx. 35m from East site boundary)



04 HEIGHT & APPEARANCE

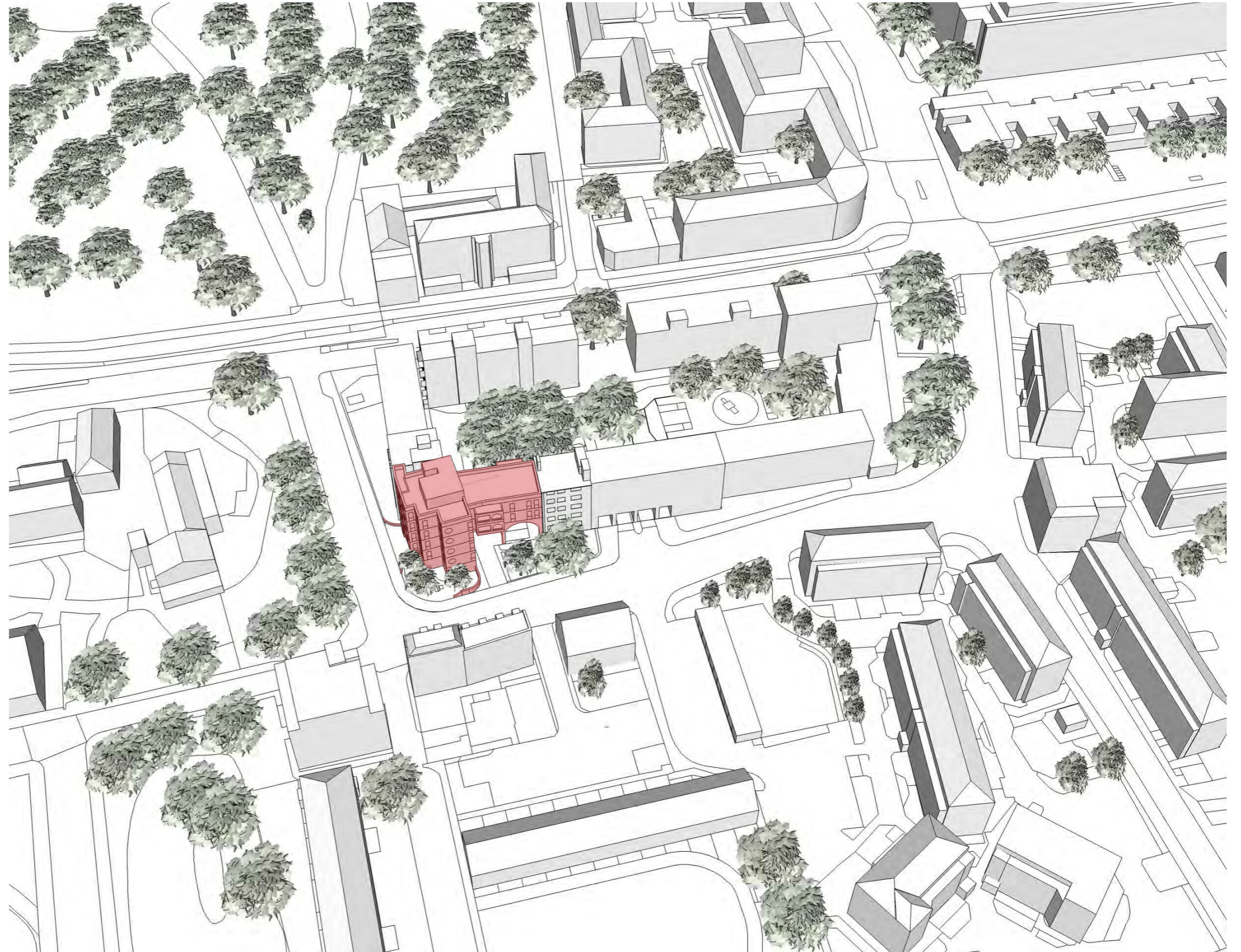
Architectural Proposals

DESIGN

- Defining the Northeast corner, two connected forms extend from the existing estate blocks to complete the perimeter block of the estate
- A 5 storey block to the East of the site along Cathay Street
- An elevated 2 storey block to West of site along Paradise Street that over-sails parking & estate access on the ground floor
- The North elevation of 5 storey block is approximately 19m from the elevation of opposite building of 1-7 Paradise Street
- The angled orientation of the 5-storey block 'opens' up the view of the listed building across the street as it is approached from Cathay Street
- The proposals are sympathetic to the character and massing of the original estate buildings, whilst providing a contemporary approach

MATERIAL & TECHNICAL NOTE

- The design team recommended option is for an RC or steel frame, piled and primarily brick clad building heated by air source heat pumps
- A full material and technical specification will be developed in Stage 3



04 HEIGHT & APPEARANCE

Massing proposals

- The 4 No. 2BR units are located in the Cathay Street block with the 4 No. 1BR units in the elevated 2 storey block along Paradise Street
- The five storey block is adjacent to the existing six storey block of Pynfolds Estate along Cathay Street
- The two elevated floors are elevated up by two storeys so sit at four storeys in total adjacent to the five storey block of the existing estate building along Paradise Street
- Ground floor contains communal & plant facilities with no residential accommodation



North-east



North-west

OPTIONS STUDIES

A variety of options were tested with different footprint responses & massing exercises undertaken to determine best approach.

The Porte Cochere approach was the preferred option for a number of reasons including:

- Completion of corner fills what appears as an absence in the perimeter block
- Access for both vehicles & pedestrians
- Angled orientation 'opens' the view of the listed building across the street as it is approached from Paradise Street
- Five storeys on the corner sits comfortably in context of Cathay Street massing



South-east



South-west

04 HEIGHT & APPEARANCE

Street view



View of from corner of Paradise & Cathay Street

04 HEIGHT & APPEARANCE

Updated street view - round windows to
flates removed due to maintenaince issues



04 HEIGHT & APPEARANCE

Updated street view - round windows to flats removed due to maintenance issues



04 HEIGHT & APPEARANCE

Elevations

FACADE

- Brickwork & coloured concrete 'banding' provides rhythm & breaks up large expanse of one material

OPENINGS

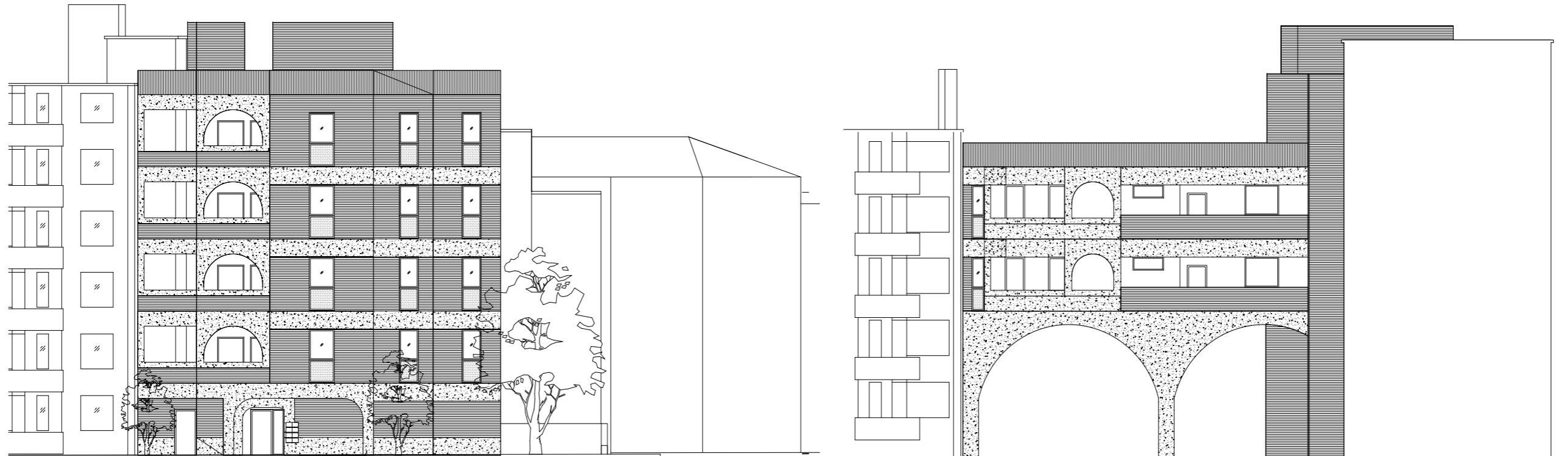
- Variety of opening sizes & shapes to provide visual interest
- All the 2 bedroom units are triple aspect
- All the 1 bedroom units are double aspect

ARCHES

- Arches highlight the opening and entrance of both pedestrians and vehicles & the language is mirrored in the arches of the balconies above the new building entrance on Cathay Street



North Elevation - Paradise Street



East Elevation - Cathay Street

South Elevation - Pynfolds Estate Courtyard

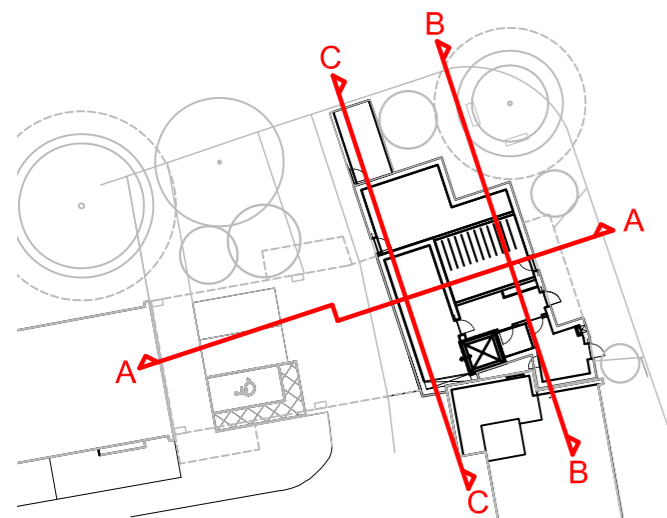
04 HEIGHT & APPEARANCE

Sections

- 3.3m floor to floor levels to allow for minimum 2.5m ceiling heights
- Central stair and lift core from ground floor level up to roof level
- All residential floor levels have the same repeated floor plan on each floor
- Stair and lift access to ASHP plant enclosures on the roof level
- Double storey archway to allow fire vehicle access & provide generous opening to existing courtyard
- All roofs have a 1100mm high parapet to remove the need for fall-safe or fall restraint systems



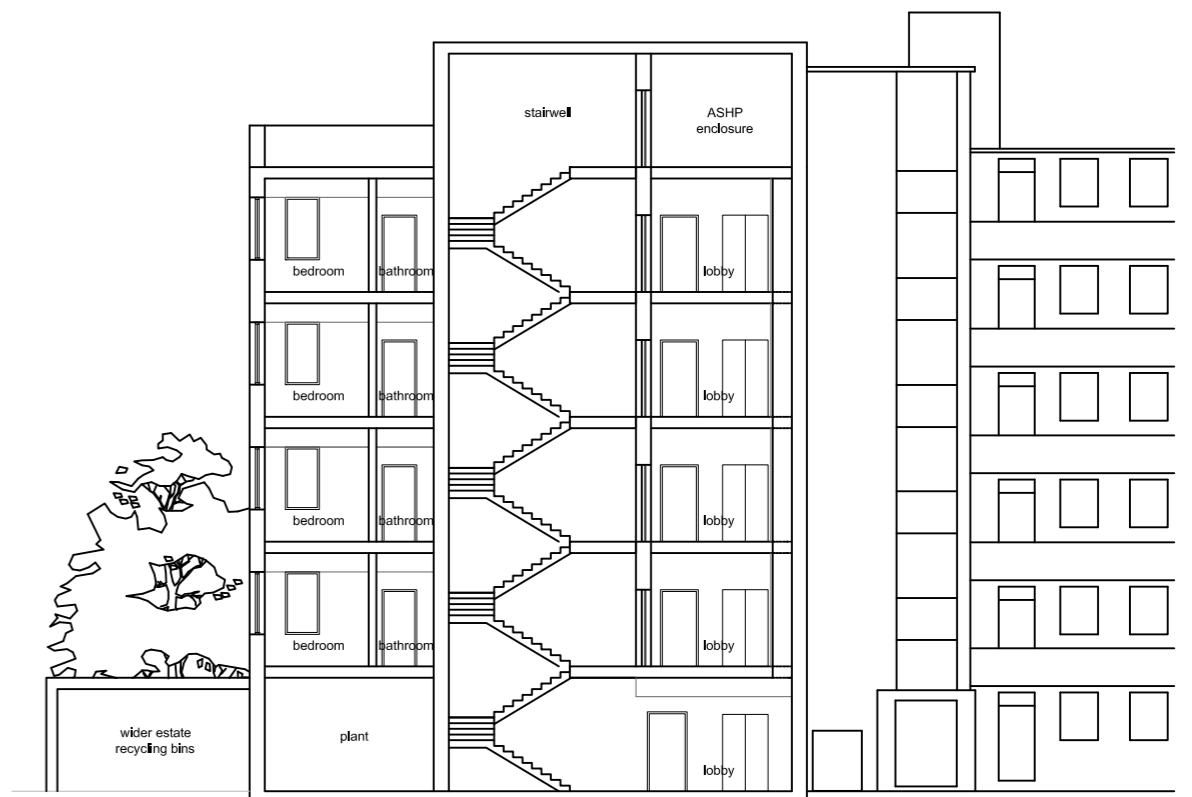
Section A-A



KEY



Section B-B



Section C-C

04 HEIGHT & APPEARANCE

Street Elevations

OVERVIEW

We proposed the building is predominantly brickwork with coloured concrete banding to each floor level to create a regular rhythm to the elevations. The coloured concrete material is then used to highlight the openings of the balconies and the arches of the main entrance and to the elevated block on the North elevation. Some pops of colour are introduced with painted render within the balconies & the access deck.

WINDOWS & DOORS

There are three window types across the elevations. Vertical rectangular windows which read as full height stretch between the horizontal concrete banding, to create an appealing scale within the elevation. The lower section of these however are obscured opaque glazing to allow for solid walling internally to enable maximum use of space and enhance privacy. There are large circular feature windows to the East and North elevations that provide visual interest and work with the arches to provide a break from the building becoming too

linear in nature. The windows within the balconies are rectangular to compliment the main elevation windows but without the lower opaque glazed sections. On the East elevation here the windows & door are door height so they are framed by the arch of the balcony. On the North elevation these are full height to create the same rhythm of the adjacent windows. The entrance door is a robust glazed door with glazed sidelight whilst the external door to the refuse store will be solid. All windows and doors will be the same material and colour.



Cathay Street Elevation (East)

04 HEIGHT & APPEARANCE

Street Elevations

BRICKWORK

We proposed to use one main brick colour for the entire building but create distinction between the two 'blocks' with different mortar colour. The 5 storey block, seen here along Cathay Street will have a light buff coloured mortar whilst the elevated block along Paradise Street will have a darker red colour mortar. This will create a unified aesthetic but whilst create variety and interest and avoid a monotonous feel.

BALCONIES

Private amenity space is provided to every home with balconies that can be accessed from the main living space. The balconies to the 2 bedroom flats (east elevation above) are inset and provide the visual link and connection to the existing building. The openings are large to allow maximum light into the balcony & into the 'lightwell' beyond. The balconies to the one bedroom flats extend from the main elevation but are enclosed to make them feel a part of the whole rather than an additional element 'stuck on'. This also helps to reduce

overlooking and enhance privacy. The materials and visual language of the balconies with one arch and one rectangular opening are echoed across the three elevations.

A painted render is proposed to the walls within the balconies to provide colour interest and to distinguish this space as different to the rest of the external walls. The arched openings of the balcony echo the arches of the main entrance area and the large arches to the over-sailing part of the building.



Paradise Street Elevation (North)

04 HEIGHT & APPEARANCE

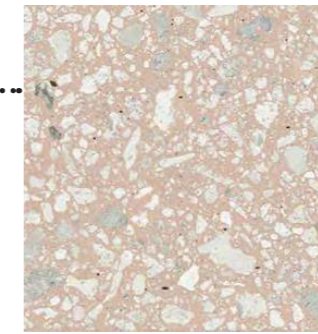
Elevation Detail - Materials



Wienerberger Retro Tiffany Stock Brick, buff mortar to main block, red mortar to elevated block



Wienerberger Retro Tiffany Stock Brick, vertically stacked brickwork to top edge



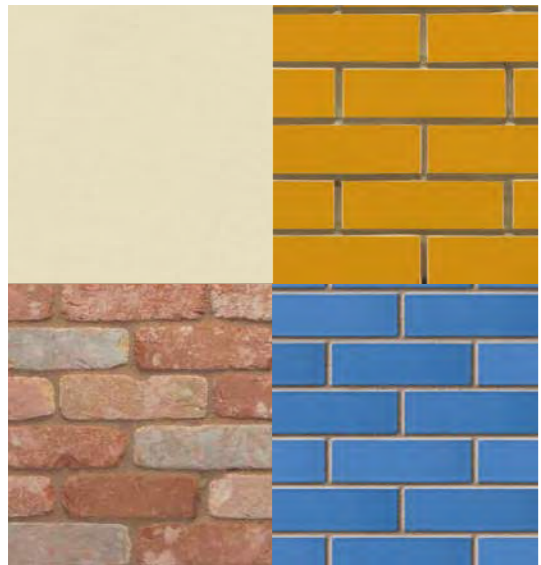
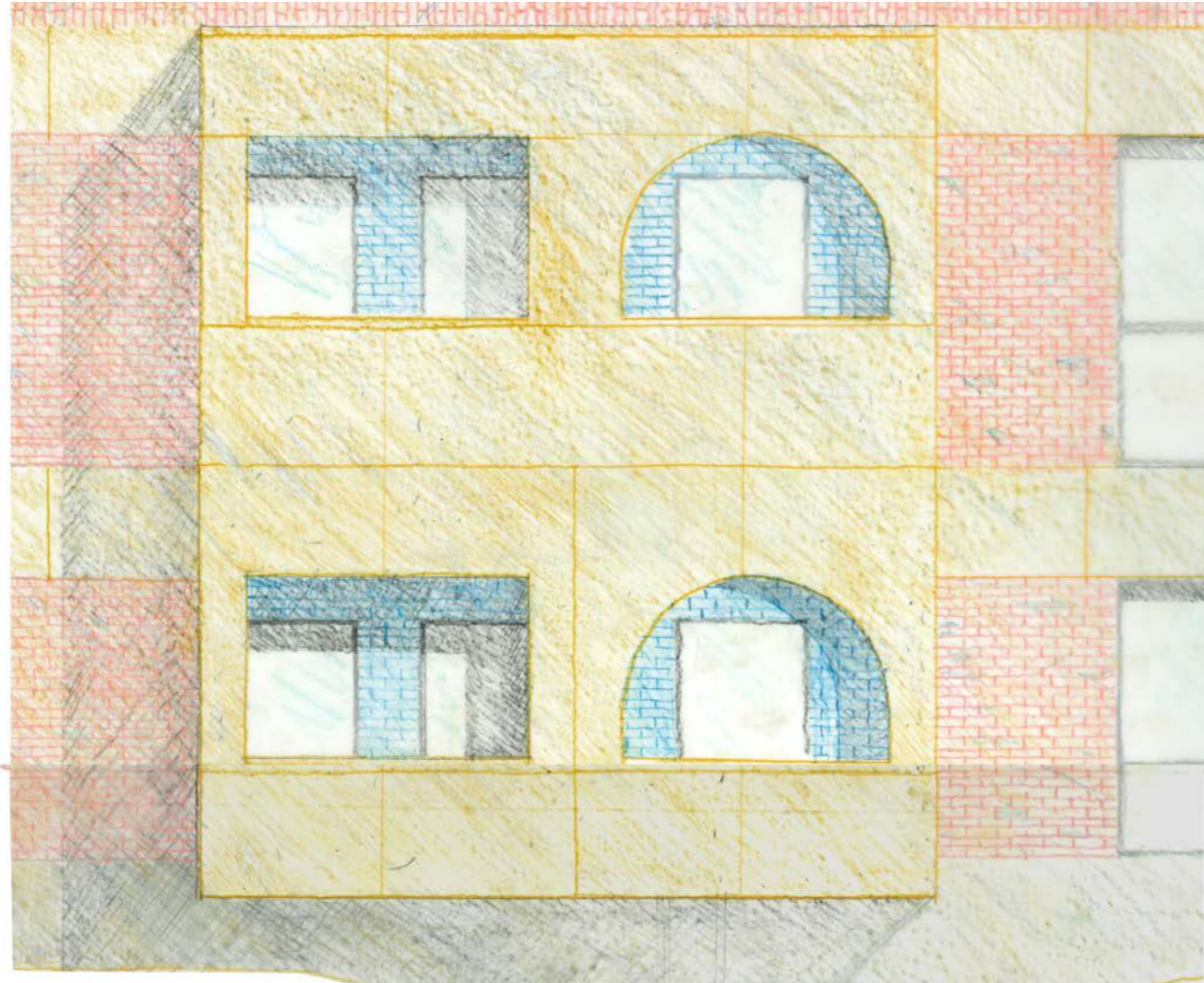
Grey/pink pre-cast polished concrete bands



Metal frame windows - PPC finish slim frame profile - opaque fritted glazing to lower panel



White glazed Brick, white mortar to walls within 'lightwell'



04 HEIGHT & APPEARANCE

Courtyard view



View of from communal garden within existing estate courtyard

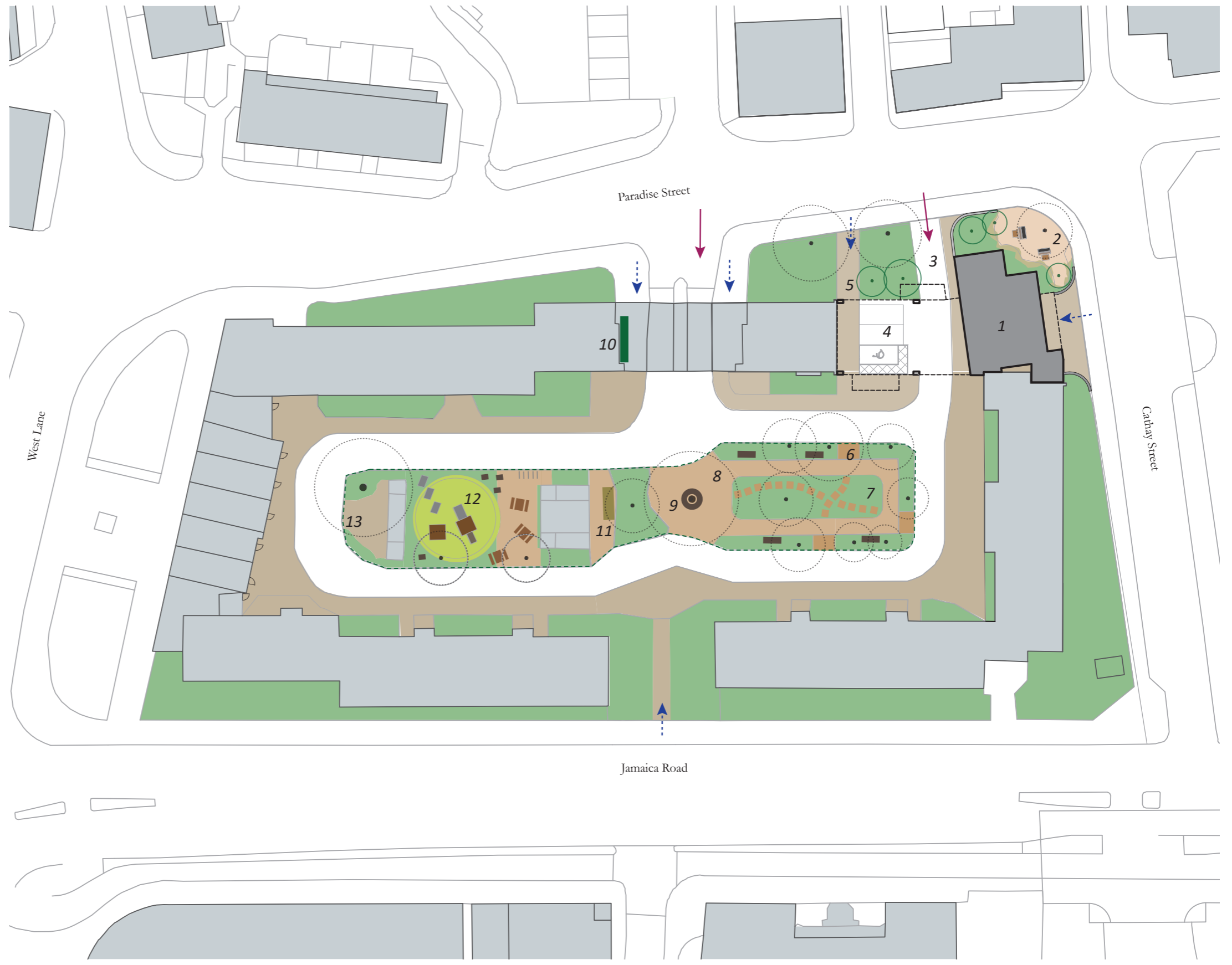
05 PROPOSED LANDSCAPE

Whole Estate Landscape

KEY

1. New homes - five storey block & elevated two storey block
2. Corner landscape improvements with planting, seating and new fruit trees around existing Magnolia tree
3. New vehicle access route adequate for fire safety vehicles
4. 3 parking spaces retained including one disabled parking bay
5. Safe new pedestrian access route separate from vehicles access
6. New fencing to courtyard landscape with increased permeability of edge creating more openings to the gardens
7. New planting around existing trees & informal routes through planting
8. Re-surfacing of paths & hard landscaping
9. Repair of existing bench around tree trunk
10. Relocated resident storage units to below existing arches
11. New enclosure for existing estate recycling bins
12. Playground improvements
13. Improvements to hard landscaping & new planting

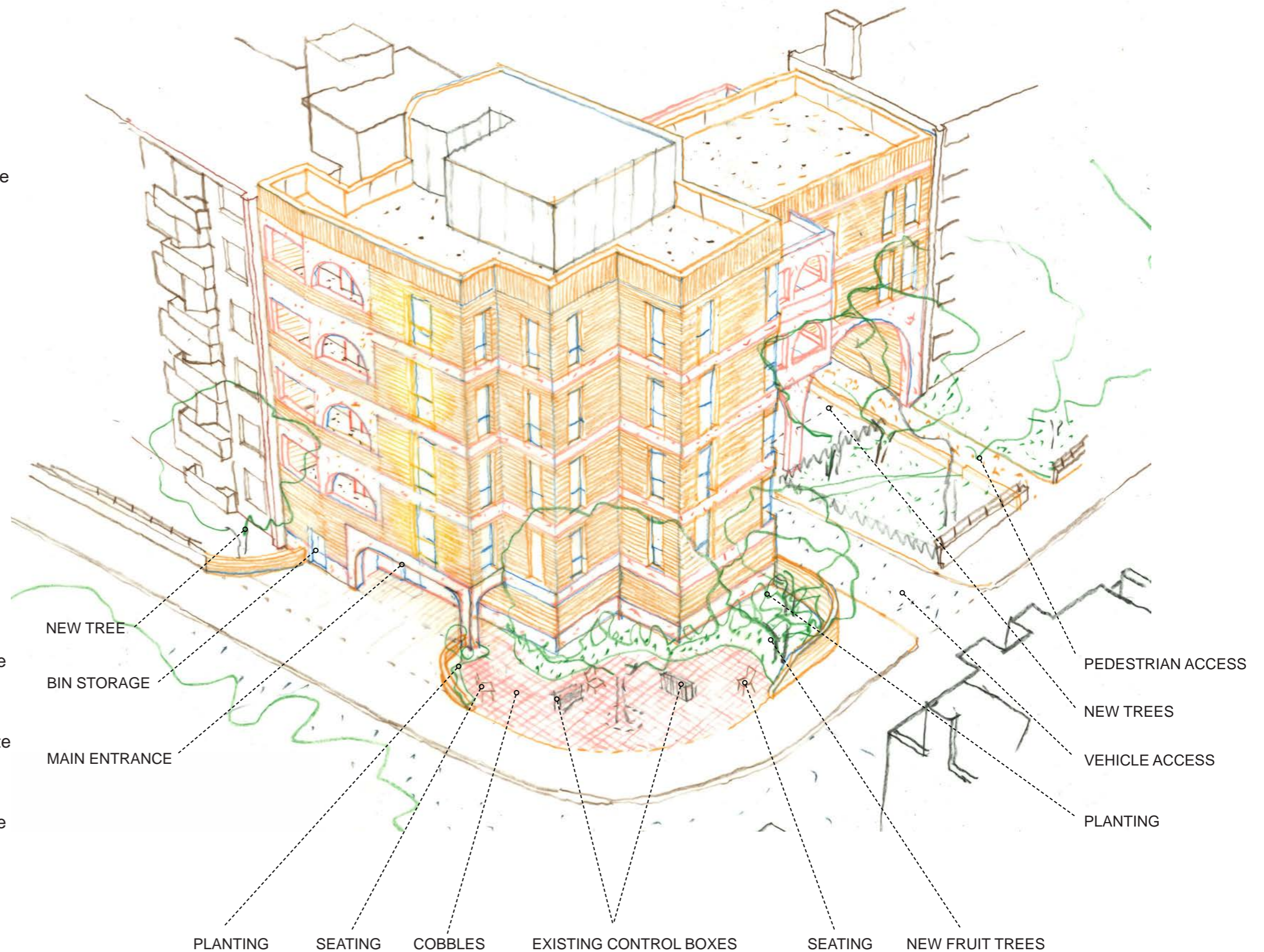
- EXISTING BUILDING
- PROPOSED NEW BUILDING
- PROPOSED NEW BUILDING ABOVE
- ← PEDESTRIAN ACCESS
- ← VEHICLE ACCESS
- EXISTING LANDSCAPE IMPROVEMENT WORKS
- EXISTING TREE RETAINED
- PROPOSED NEW TREE



05 PROPOSED LANDSCAPE

New Landscape Proposals

- New homes main entrance from Cathay Street. Paving slab hard landscaping provides the transition surface with cobbled paving to the entrance under the overhang signifies the entrance
- New low curved walls form places to sit near the entrance and create a soft transition toward the building from the pavement edge
- A new landscape is created with new cobbled paving, planting, seating and new fruit trees to define the corner of Paradise and Cathay Street
- New landscape creates a new, more public realm space on corner where previously used for bins and where fly-tipping was prevalent
- New road surface to new vehicle access below elevated building that is sufficient for fire safety vehicles, improving the existing access condition
- A new dedicated pedestrian access route separate from vehicle access through shared amenity
- New resin bound gravel surface to pedestrian route that link with existing courtyard pavements
- New trees added to existing shared amenity space between new vehicle and new pedestrian access
- New low level edging to lawn area with existing and new trees to define the edge



05 PROPOSED LANDSCAPE

Corner landscape

Existing Magnolia tree retained

New fruit trees to compliment Magnolia tree

Fixed seating scattered across landscape

Main entrance door

Paving slabs & cobble setts to entrance landscape

Low curved brick wall to define entrance & provide seating

Cobble setts paving with interspersed planting

Timber screens to existing control boxes

Curved wall to define corner



varied surface textures & grove of trees



cobble setts paving



new trees & wildflower planting



fixed seating & shade

Courtyard garden landscape

New perimeter fencing to update & unify landscape

Breaks in new boundary fencing at specific locations to open up landscape & make the garden amenity space more permeable

New pedestrian route to align with new opening within fencing for direct linked route through to courtyard garden

Repair to circular bench surrounding large central tree & to other existing benches where required

New planting to enhance & compliment existing

Creating new informal pathways through planting areas

New resin bound gravel surfaces to existing paths



resin bound gravel to paths



informal paths



new coloured railings



create wildlife habitats



bird boxes to existing trees

05 PROPOSED LANDSCAPE

Existing estate improvements

- (A) New fencing to courtyard landscape with increased permeability of edge creating more openings to the gardens
- (B) New planting to existing beds around existing trees & informal paths & routes through planting areas
- (C) Re-surfacing of paths & hard landscaping with resin bound gravel
- (D) Repair of existing bench around tree trunk & others where required
- (E) Existing resident storage units relocated to below existing arches
- (F) New enclosure screen fencing for existing estate recycling bins
- (G) Playground improvements & refurbishment as needed
- (H) Improvements to hard landscaping & new planting to area surrounding existing storage units at end of the courtyard to make space more usable



06 PUBLIC CONSULTATION

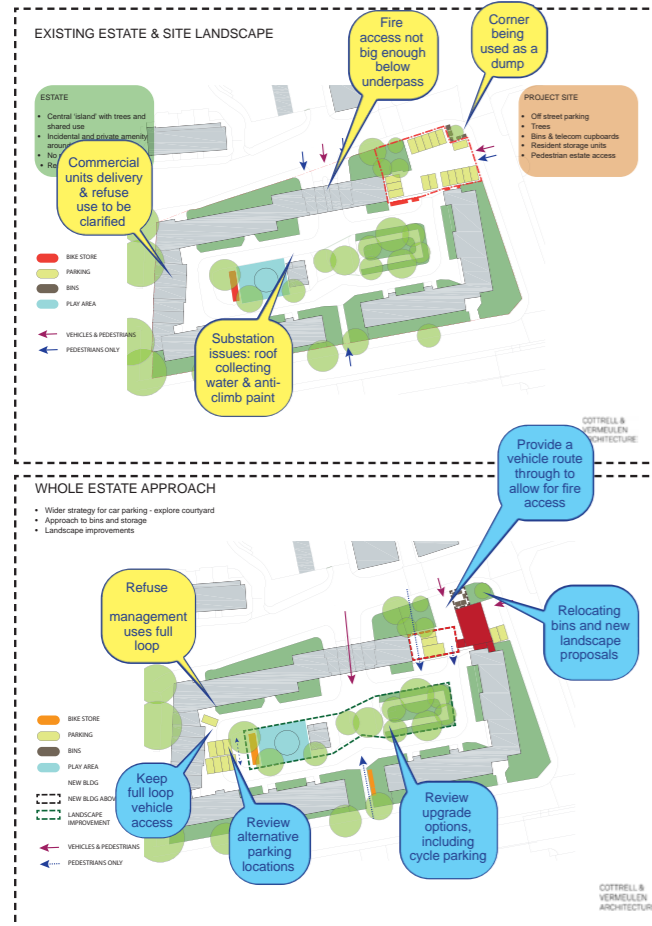
We have held the following consultation meetings and events to help develop and inform the designs:

Project Group Meetings:

- Resident drop-in
- Project Group Meeting 01
- Project Group Meeting 02
- Project group Meeting 03
- Wider Residents virtual event

These slide show some of the key issues that were raised and discussed at the Project group meetings.

All meetings were remote via Zoom.

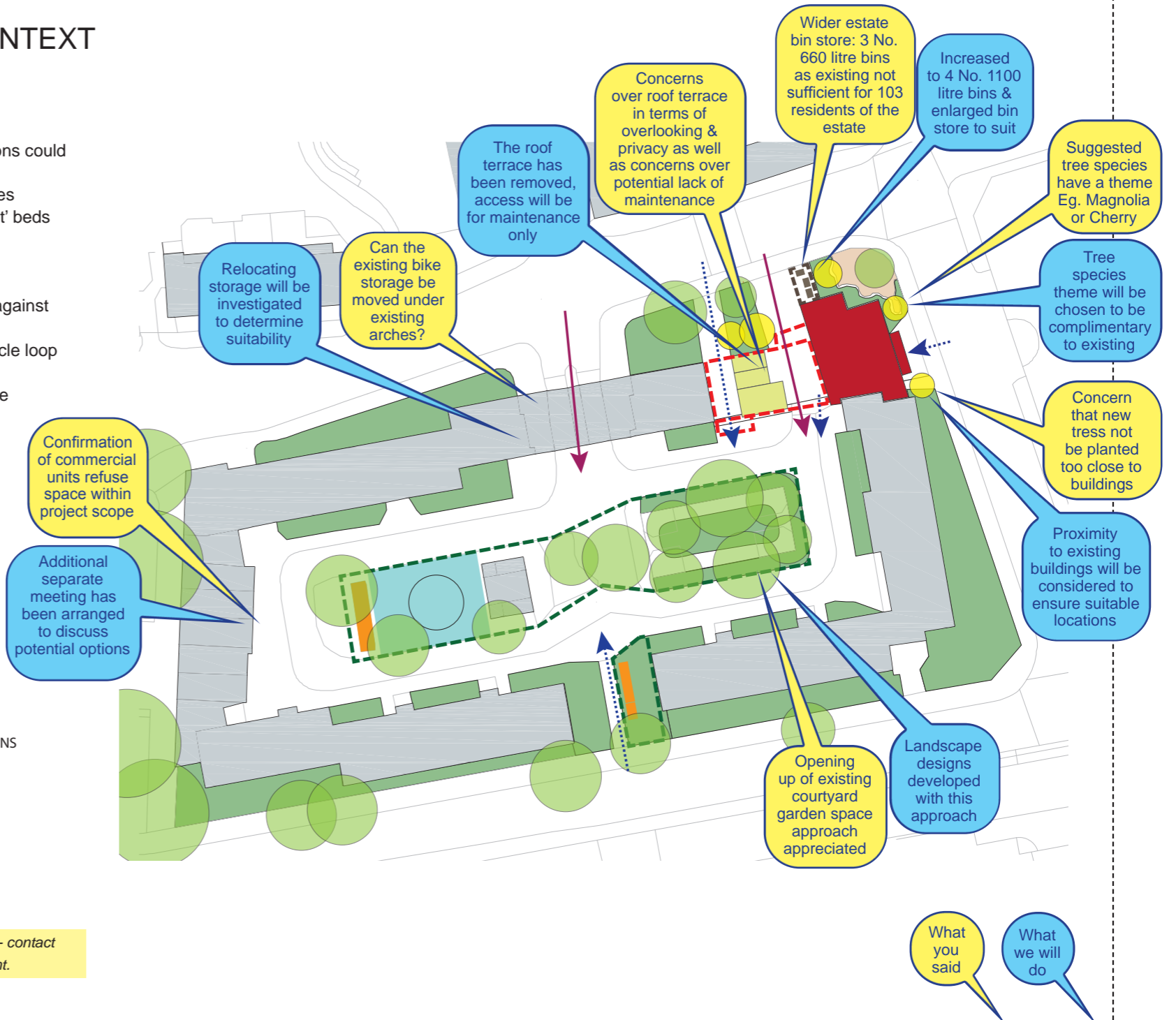


Feedback from PG mtg 01 presented at PG mtg 02

WIDER ESTATE CONTEXT

- Landscape improvements options could include:
 - new benches, seats & tables
 - communal raised 'allotment' beds
 - new planting
 - new integrated playground
 - wildlife habitats
- Strategy for car parking offset against keeping green spaces
- Vehicle access - retain full vehicle loop
- New fire vehicle access
- New approach to bins to resolve dumping issues

- BIKE STORE
- PARKING
- BINS
- PLAY AREA
- NEW BLDG
- NEW BUILDING ABOVE
- LANDSCAPE IMPROVEMENT
- VEHICLES & PEDESTRIANS
- PEDESTRIANS ONLY
- EXISTING TREES
- NEW TREES

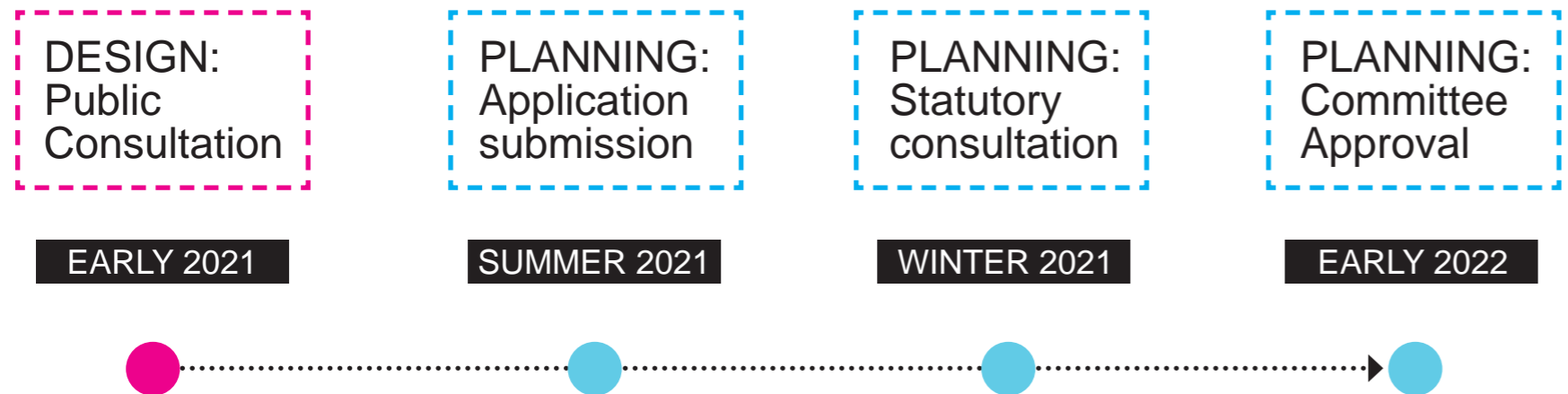


What do you think? Please let us know - contact information is at the end of this document.

Key feedback & discussion points from Project Group meeting 02 presented at Project Group meeting 03

07 EXPECTED PROJECT TIMELINE

1. DESIGN & PLANNING STAGE



2. CONSTRUCTION STAGE

